



Tribal Council Workshop Information

Workshop Title: Ko-Kwel Wellness Center Project Update	Date of Workshop: 11/21/2019
<input checked="" type="checkbox"/> Open Workshop <input type="checkbox"/> Continued from previous Workshop – Date: <input type="checkbox"/> Closed Executive Workshop	
Presenter's Name, Title and Department: KWCP Decision Team Members: Mark Johnston, Executive Director; Fauna Larkin, Operations Director; Eric Scott, Project Manager	
Guest Presenter(s), Title and Agency (anyone not associated with CIT):	
Note Taker for Workshop: Anna Chavez	
Brief Description (provide outline of discussion points as well as questions you need answered by this workshop): <ul style="list-style-type: none">• Review and discuss Major Milestones to Closing Calendar (see attached)• Review and discuss budget (see attached)• Review and discuss 80% Schematic Design (see attached)• Review and discuss Alta Survey (see attached)• Review work in progress<ul style="list-style-type: none">○ FF&E○ Recruitment○ Environmental: Checklist and Phase 2 ESA○ Land Use Permitting○ Marketing○ Business Operations Charter	
Workshop Attendees (list everyone who attended workshop):	
Workshop Summary (provide outline of discussions that occurred):	
Reference Materials (provide for posting):	

Next Steps:

- ☐ **Information Only**
- ☐ **Schedule second workshop**
- ☐ **Prepare item for Tribal Council Motion**
- ☐ **Prepare item for Tribal Council Resolution**
- ☐ **Prepare item for Administrative Approval process**
- ☐ **Other:**

Executive Director Comments:**Tribal Council Secretary/Treasurer Comments:****Executive Director Initials:**

KWCP Draft Major Milestones to Closing Calendar: Last updated 11/20/19

	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
	11/21	11/19	11/20	11/21	11/22	11/23	11/24
Design Documents	Schematic Design (SD) drafts in Progress			Council reviews 80% SD	Schematic Design (SD) revisions in progress		
Budget*	Drafts in Progress			Council reviews updated draft budget	Drafts in Progress		
Land Use Permit	Proposed amendment 30 day comment period for Land Use and Zoning Ordinance changes						
Lease	Environmental checklist, Phase 2 ESA in progress, lease agreement language draft in progress			Council reviews draft ALTA survey	Alta survey completed. Environmental Checklist completed		
	11/25	11/26	11/27	11/28	11/29	11/30	12/1
Design Documents	Schematic Documents (SD) revisions in progress		KWCP DT Approves SD Set, Design Draft Kick-Off Mtg	Design documents (DD) in progress			
Budget*	Drafts in Progress			KWCP Team Reviews 75% draft of all owner costs	Drafts in Progress		
Land Use Permit	Proposed amendment 30 day comment period for Land Use and Zoning Ordinance changes						
Lease	Environmental Impact Determination 30 day comment period, Phase 2 ESA in progress, lease agreement language draft in progress						
	12/2	12/3	12/4	12/5	12/6	12/7	12/8
Design Documents (DD)	Design documents (DD) in progress			KWCP DT Reviews 50% DD drafts	Design document (DD) revisions in progress		
Budget*	Drafts in Progress		KWCP Team Reviews 75% draft of all owner costs and 90% SD budget	Drafts in Progress			
Land Use Permit	Proposed amendment 30 day comment period for Land Use and Zoning Ordinance changes						
Lease	Environmental Impact Determination 30 day comment period, Phase 2 ESA in progress, lease agreement language draft in progress						
	12/9	12/10	12/11	12/12	12/13	12/14	12/15
Design Documents	Design document (DD) revisions in progress	Council reviews 80% DDs			Design document (DD) revisions in progress		
Budget*	KWCP DT approves SD budget	Council reviews 90% draft Owner Costs budget Council reviews approved SD budget			Drafts in Progress		
Land Use Permit	Comments incorporated into draft changes	Council reviews final suggested changes to Land Use and Zoning Ordinance		Council approves changes to Land Use and Zoning Ordinance	Permit Administrator Issues Land Use Permit.		
Lease	Environmental Impact Determination 30 day comment period, lease agreement language draft in progress	Tribal Council reviews environmental impact determination, and reviews draft QUALICB lease language			Environmental Impact Determination 30 day comment period, lease agreement language draft in progress. Phase 2 ESA in progress.		
	12/16	12/17	12/18	12/19	12/20	12/21	12/22
Design Documents	Design document (DD) revisions in progress		KWCP Team Reviews 90% DD drafts	Design document (DD) revisions in progress			
Budget*	Drafts in Progress			KWCP Team Approves FF&E Budget (Contingent on Construction Budget)			
Lease	Environmental Impact Determination 30 day comment period, lease agreement language draft in progress, Phase 2 ESA in progress.						
	12/23	12/24	12/25	12/26	12/27	12/28	12/29
Design Documents	KWCP team approves 90% DD	Design document (DD) revisions in progress					
Budget*	GMP based on DDs budget drafts in progress						
Lease	Environmental Impact Determination finalized.	Phase 2 ESA competed	Lease agreement language draft in progress				

*Budget includes Owner Costs, GMP & NMTC financing

KWCP Draft Major Milestones to Closing Calendar: Last updated 11/20/19

	12/30	12/31	1/1	1/2	1/3	1/4	1/5
Design Documents		KWCP DT Approves DD's					
Budget*	GMP budget based on DDs drafts in progress	KWCP DT Approves DD budget	GMP budget based on DDs drafts in progress				
Lease	Lease Approved by Tribal Council						
	1/6	1/7	1/8	1/9	1/10	1/11	1/12
Budget*	GMP budget based on DDs drafts in progress	Council reviews draft resolutions for NMTC financing Council reviews approved DD's					
	1/13	1/14	1/15	1/16	1/17	1/18	1/19
Budget*	GMP budget based on DDs drafts in progress				S&B James submits GMP based on DD's	GMP Language Review GMP based on DDs Budget Review	
	1/20	1/21	1/22	1/23	1/24	1/25	1/26
Budget	GMP based on DDs Budget Review Negotiating and finalizing with lenders and S&B James GMP Language Review		Council reviews draft resolutions for NMTC financing	Resolutions for NMTC financing approved by Tribal Council	Deal Closes		
	1/27	1/28	1/29	1/30	1/31		
Budget	Tribal Council and senior staff unavailable						

*Budget includes Owner Costs, GMP & NMTC financing

**Ko-Kwel Wellness Center
Preliminary Construction Budget**

13-Nov-19

Sources of Funds

FUNDING SOURCES					
	USDA	NMTC	Grants	Tribal Equity	Total
Loan Proceeds	7,000,000	-	-	-	7,000,000
NMTC Benefit at Closing (less required reserves)	-	2,996,670	-	-	2,996,670
Oregon Community Foundation	-	-	35,000	-	35,000
Meyer Memorial Trust	-	-	85,000	-	85,000
Wildhorse Foundation	-	-	20,000	-	20,000
Shakopee Foundation	-	-	50,000	-	50,000
Spirit Mountain Community Fund	-	-	84,000	-	84,000
Collins Foundation	-	-	75,000	-	75,000
Craft3 Pre-development grant	-	-	175,000	-	175,000
Ford Foundation/Other (pending)	-	-	200,000	-	200,000
Indirect contract support	-	-	332,500	-	332,500
Tribal equity	-	-	-	952,555	952,555
Total Sources	7,000,000	2,996,670	1,056,500	952,555	12,005,725

Project Costs

Financing Costs

Loan fee	70,000	-	-	-	70,000	Craft 3
Construction period interest	-	-	332,500	-	332,500	Craft 3
Subtotal	70,000	-	332,500	-	402,500	

Site Preparation & Demolition

Site survey	-	-	13,900	-	13,900	Stuntzner Engineering
Earth Moving	-	20,000	40,000	-	60,000	Wheeler Excavating
Existing utility terminations	-	1,500	-	-	1,500	S&B James
Contingency (10%)	-	7,540	-	-	7,540	
Subtotal	-	29,040	53,900	-	82,940	

Project Management/Surveys/Reports

Project Management	-	-	50,000	100,000	150,000	Eirc Scott
Construction Security	-	50,000	-	-	50,000	
Plan Review, Permitting, MEP, FLS Inspections	-	125,000	-	-	125,000	NW Code Professionals
Materials Testing Testing and Inspections	-	30,000	-	-	30,000	SHN Engineering
Storm Water/BPM/Reports/Inspections	-	24,079	-	-	24,079	
Topo Survey/ALTA Survey	-	-	-	25,500	25,500	SHN Engineering
Phase I ESA	-	-	-	3,600	3,600	Creekside Environmental
Limited Phase II ESA	-	-	-	14,500	14,500	Creekside Environmental
Geotechnical Engineering / Report	-	-	-	8,966	8,966	Galli Group
Pile Driving and Test Pile Program	-	-	-	9,000	9,000	Galli Group
Contingency (10%)	-	44,065	-	-	44,065	
Subtotal	-	273,144	50,000	161,566	484,710	

Utility Infrastructure & Fees

Building Permit Application Fee	-	120,000	-	-	120,000	CIT
IT Cabling Network/Communications	-	60,000	-	-	60,000	
Electric Utility Connection Fee	-	21,209	-	-	21,209	Pacific Power
Backup Power Generator/ ATS	-	-	200,000	-	200,000	
Water/Sewer Development Fee	-	9,554	-	-	9,554	
Facility Commissioning	-	33,860	-	-	33,860	
Contingency (10%)	-	44,462	-	-	44,462	
Subtotal	-	289,085	200,000	-	489,085	

Building Construction

Architectural/Engineeirng Design Costs	104,793	-	345,100	-	449,893	S&B James
General Conditions (Mgt Costs SBJ)	531,285	-	-	-	531,285	S&B James
Building Costs	5,523,781	672,932	75,000	-	6,271,713	S&B James
Site Construction Costs	770,141	-	-	-	770,141	S&B James
Contingency (15% of bldg & site construction)	-	1,056,278	-	-	1,056,278	
Subtotal	6,930,000	1,729,210	420,100	-	9,079,310	

Furniture Fixtures & Equipment

Office Furniture/Equipment	-	180,000	-	-	180,000	
IT Office Equipment	-	104,000	-	-	104,000	
IT Network & Security Equipment	-	17,000	-	-	17,000	
FF&E Dental	-	-	-	360,350	360,350	ADEQ
FF&E Dental Imaging	-	-	-	90,000	90,000	Planmeca
FF&E Medical/ Pharmacy	-	201,311	-	248,689	450,000	
FF&E Procurement Services - Medical	-	-	-	76,950	76,950	MEQA
FF&E Site Amenities	-	-	-	15,000	15,000	
Contingency (10%)	-	129,330	-	-	129,330	
Subtotal	-	631,641	-	790,989	1,422,630	

Ingress/Egress & Signage

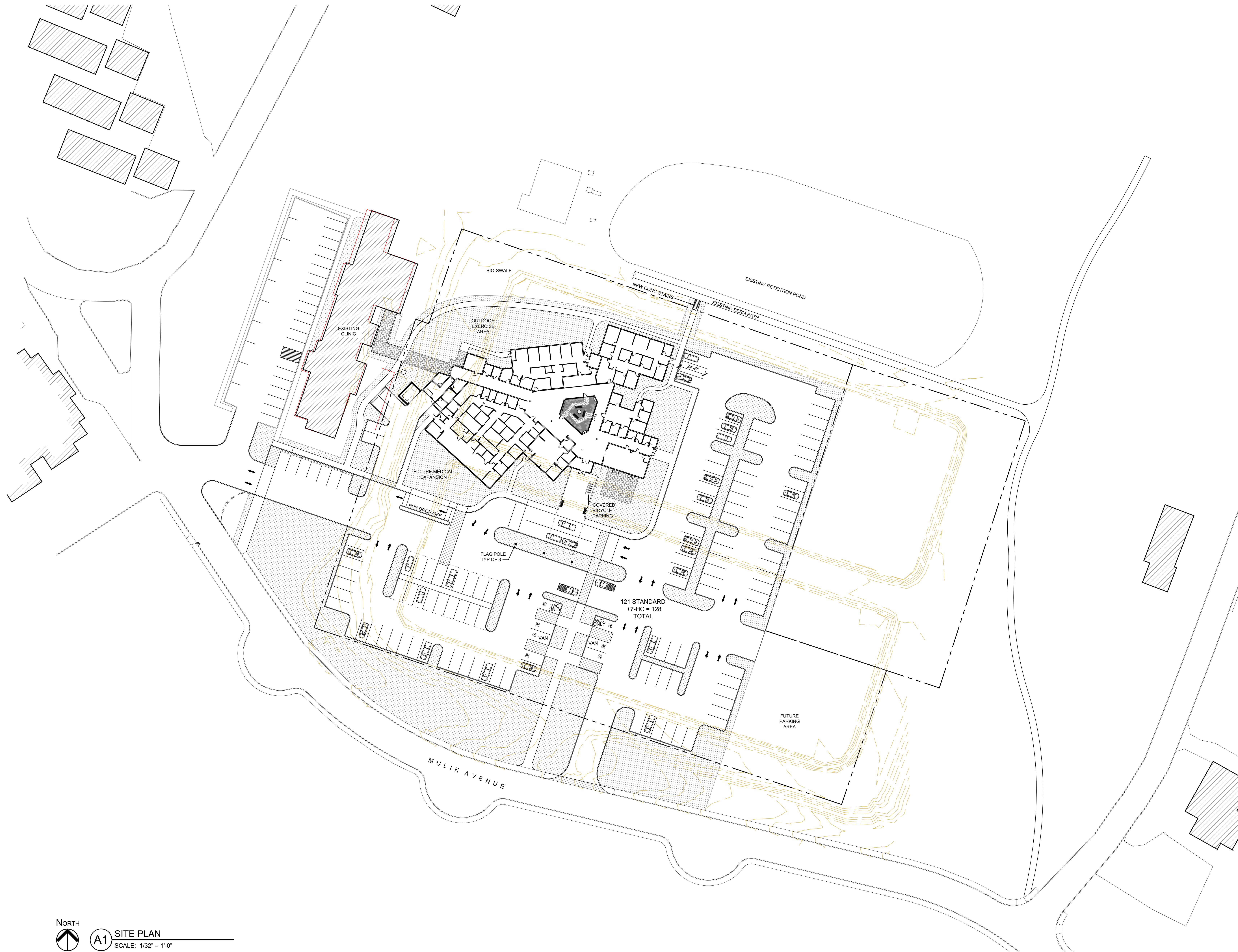
Ingress/Egress	-	25,000	-	-	25,000	
Monument Sign	-	15,000	-	-	15,000	
Wayfinding Signage	-	500	-	-	500	
Contingency (10%)	-	4,050	-	-	4,050	
Subtotal	-	44,550	-	-	44,550	
Contingency	-	-	-	-	-	

Total Costs

7,000,000	2,996,670	1,056,500	952,555	12,005,725
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Sources Over (Under) Uses

-	-	-	-	-
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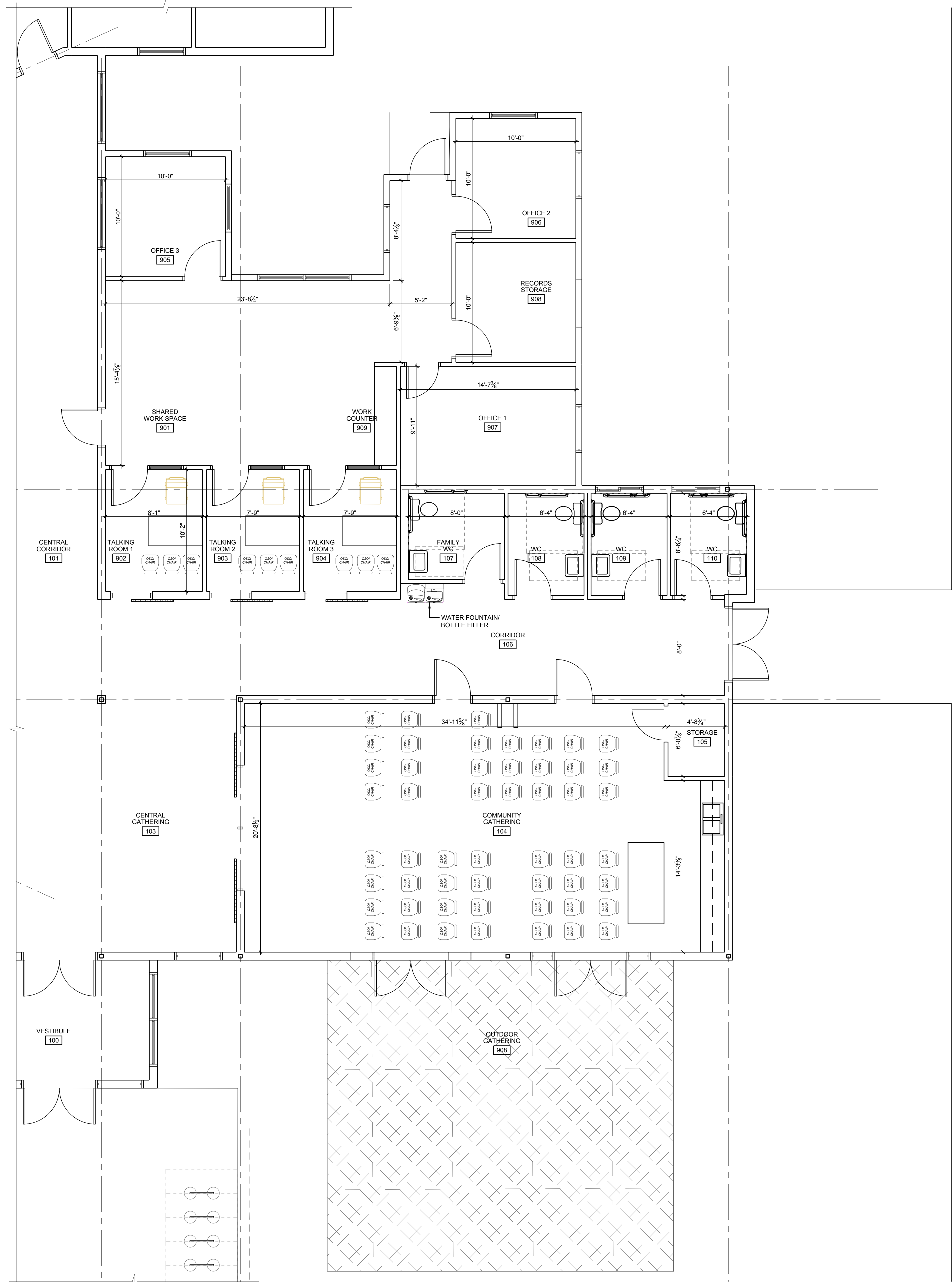


A1 SITE PLAN
SCALE: 1/32" = 1'-0"

SRU
09/30/2019

SITE PLAN

A-101



A1 ADMINISTRATIVE AND COMMUNITY GATHERING ENLARGED FLOOR PLAN
SCALE: 1/4" = 1'-0"

NOTE: IF THIS SHEET IS LESS THAN 30" x 42" IT HAS BEEN REDUCED AND IS NOT TO SCALE.

DESIGN-BUILDER:
SB JAMES
CONSTRUCTION MANAGEMENT
8425 Agate Road White City, OR 97503 CCB #167945 (541) 828-5668

ARCHITECT:
SAMUEL UCCELLO
AIA, NCARB, LEED
S+B James Construction Management
Tel: (541)414-1325
Fax: (541)828-5536
E-mail: samueluccello@sbjames.com

CONSULTANT:

STAMP:
SCHEMATIC SUBMITTAL
Issued: 11-19-2019

OWNER:

COQUILLE INDIAN TRIBE

3050 TREMONT STREET
NORTH BEND, OREGON 97459
CONTACT:
PH: (800) 622-5869

PROJECT ADDRESS:

641 MILUK DRIVE
NORTH BEND, OREGON 97420

REVISIONS		
MARKER	DATE	DESCRIPTION
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SBJ PROJECT NO.: M19-5118
DRAWN BY: SRU / JCS
CHECKED BY: -
PROJECT DATE: 09/16/19
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S & B JAMES CONSTRUCTION MANAGEMENT

PROJECT:
**KO-KWEL
WELLNESS CENTER
NEW MOB
DESIGN**

SHEET TITLE:
**ENLARGED
ADMINISTRATION &
COMMUNITY
GATHERING FLOOR
PLAN**

SHEET NO.:

A-103



NOTE: IF THIS SHEET IS LESS THAN 30" x 42" IT HAS BEEN REDUCED AND IS NOT TO SCALE.



B3 ENLARGED CENTRAL COURTYARD FLOOR PLAN
SCALE: 1/4" = 1'-0"

DESIGN-BUILDER:

SB JAMES

CONSTRUCTION MANAGEMENT

8425 Agate Road
White City, OR 97503

CCB #167945
(541) 826-5668

ARCHITECT:
SAMUEL UCCELLO
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CONSULTANT:

STAMP:

**SCHEMATIC
SUBMITTAL**
Issued: 11-19-2019

OWNER:

COQUILLE INDIAN TRIBE

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NORTH BEND, OREGON 97459
CONTACT:
PH: (800) 622-5869

PROJECT ADDRESS:

641 MILUK DRIVE
NORTH BEND, OREGON 97420

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PROJECT:	

**KO-KWEL
WELLNESS CENTER**
NEW MOB
DESIGN

SHEET TITLE:
**ENLARGED
FLOOR PLANS:
PHARMACY &
CENTRAL COURTYARD**

SHEET NO.:

A-104





SCALE: 1/4" = 1'-0"

**SCHEMATIC
SUBMITTAL**
Issued: 11-19-2019

050 TREMONT STREET
NORTH BEND, OREGON 97459
CONTACT:
PH: (800) 622-5869

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PROJECT:	

**KO-KWEL
WELLNESS CENTER**
NEW MOB
DESIGN

SHEET TITLE:

**DENTAL
ENLARGED FLOOR
PLAN**

HEET NO.:
A-106



A1 ENLARGED FAMILY SERVICES FLOOR PLAN
SCALE: 1/4" = 1'-0"

NOTE: IF THIS SHEET IS LESS THAN 30" x 42" IT HAS BEEN REDUCED AND IS NOT TO SCALE.

DESIGN-BUILDER:
SB JAMES
CONSTRUCTION MANAGEMENT
8425 Agate Road
White City, OR 97503
CCB #167945
(541) 828-5668

ARCHITECT:
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CONSULTANT:

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SCHEMATIC
SUBMITTAL
Issued: 11-19-2019

OWNER:
COQUILLE INDIAN TRIBE
3050 TREMONT STREET
NORTH BEND, OREGON 97459
CONTACT:
PH: (800) 622-5869

PROJECT ADDRESS:
641 MILUK DRIVE
NORTH BEND, OREGON 97420

REVISIONS		
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PROJECT:
**KO-KWEL
WELLNESS CENTER
NEW MOB
DESIGN**

SHEET TITLE:
**ENLARGED
FAMILY SERVICES
FLOOR PLAN**

SHEET NO.:
A-107

SHEET KEYNOTE LEGEND

- 01 WALL MOUNTED LIGHT FIXTURE (SED)
- 02 ROLL-UP SECTIONAL MET DOOR @ STORAGE (SEE DOOR SCHEDULE)
- 03 PTD HM DOOR
- 04 ALUM SF DOOR (SEE DOOR SCHED)
- 05 ALUM WINDOW SYSTEM (SEE WINDOW SCHED)
- 06 WD BENCH @ COVERED ENTRY (SLD)
- 07 WALL-MTD POWDER-COATED, RECESSED "KNOX BOX" AT ENTRY, 6'-0" AFF (SEE FLOOR PLAN)
- 08 CONTIN PTD BENT PLATE STL CHANNEL (SSD)
- 09 FIBER CEMENT (FC) PANEL CLADDING WALL SYSTEM
- 10 FIBER CEMENT (FC) VERTICAL PLANK CLADDING WALL SYSTEM
- 11 ASSUMED PROPERTY LINE (SEE PLANS)
- 12 EXTERIOR VERTICAL SEISMIC JOINT COVER
- 13 ROOF OVERFLOW COWS TONGUE (TYP OF 4) (SPD)
BY: ZURN / Z199 - 5 1/2" / NICKEL FINISH / SS SCREEN
- 14 GSM COLLECTOR BOX & DOWNSPOUT, MATCH GUTTERS (TYP OF 3)
- 15 COVERED WALKWAY TO EXISTING CLINIC
- 16 ENTRY CANOPY
- 17 VENT LOUVER
- 18 TPO ROOFING
- 19
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DESIGN-BUILDER:



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NORTH BEND, OREGON 97420

MATERIALS LEGEND

- FC-01 COMMERCIAL GRADE PTD FIBER CEMENT
"HARDIE REVEAL PANEL SYSTEM" W/ CHEM FILM (PRIMED) HORIZONTAL AND VERTICAL REVEAL TRIM. ALL COMPONENTS & FASTENERS SUPPLIED BY JAMES HARDIE CORPORATION
WARRANTY: MFR STANDARD 25 YEAR
- FC-02 COMMERCIAL GRADE PTD FIBER CEMENT
"HARDIE REVEAL PLANK SYSTEM" W/ CHEM FILM (PRIMED) HORIZONTAL AND VERTICAL REVEAL TRIM. ALL COMPONENTS & FASTENERS SUPPLIED BY JAMES HARDIE CORPORATION
WARRANTY: MFR STANDARD 25 YEAR
- PT-01 PAINT: EXTERIOR
HARDIE REVEAL PANEL SYSTEM PRIMER (PRIME OVER SHOP PRIMING)
"LOXON-XP" ACRYLIC PRIMER FINISH COATS
FINISH COATS
"DURATION EXTERIOR ACRYLIC LATEX"
COLOR: AS SELECTED BY ARCHITECT
ASSUME STANDARD COLORS
BASIS: ALL SHERWIN WILLIAMS PAINT
- PT-02 PAINT: EXTERIOR
HARDIE REVEAL PANEL SYSTEM PRIMER (PRIME OVER SHOP PRIMING)
"LOXON-XP" ACRYLIC PRIMER FINISH COATS
FINISH COATS
"DURATION EXTERIOR ACRYLIC LATEX"
COLOR: AS SELECTED BY ARCHITECT
ASSUME STANDARD COLORS
BASIS: ALL SHERWIN WILLIAMS PAINT

REVISIONS		
MARKER	DATE	DESCRIPTION
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PROJECT:
KO-KWEL WELLNESS CENTER
NEW MOB DESIGN

GENERAL NOTES

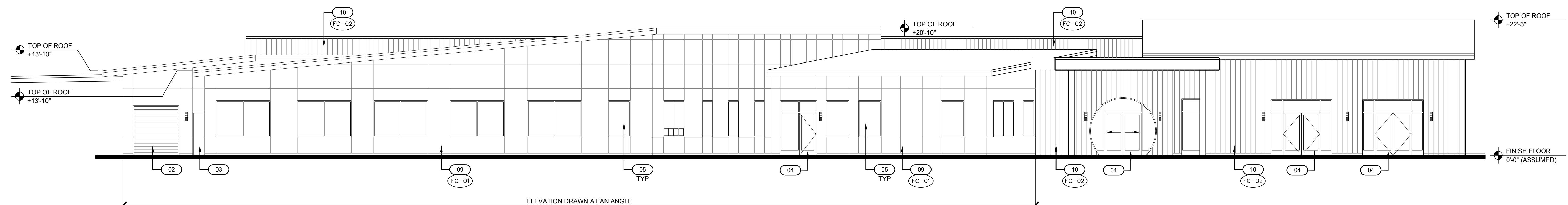
- PROVIDE (2) 12" X 12" MOCK-UP OF EACH EACH PAINT AND CEMENT PLASTER COLOR AND TEXTURE FOR THE PROJECT.
- PROVIDE (3) SAMPLES OF EXTERIOR FINISH MATERIALS IN COLORS SELECTED BY ARCHITECT.
- PREPARE COMPLETE SHOP DRAWINGS FOR ALL , SOFFIT PANELS, GUTTERS, FLASHING AND, SHOWING ALL NECESSARY COMPONENTS FOR A COMPLETE INSTALLATION.
- COORDINATE SIGNAGE INSTALLATION REQUIREMENTS, INCLUDING ELECT POWER, STRUCTURAL SUPPORT AND RELATED REQUIREMENTS W/ OWNER'S SIGNAGE CONTRACTOR.
- SIGNAGE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR PREPARATION OF SIGNAGE PERMIT SUBMITTAL DOCUMENTS FOR COUNTY APPROVAL AND SHALL OBTAIN ALL REQUIRED PERMITS, APPROVALS AND INSPECTIONS FOR SIGNAGE INSTALLATION.

SHEET TITLE:
EXTERIOR BUILDING ELEVATIONS

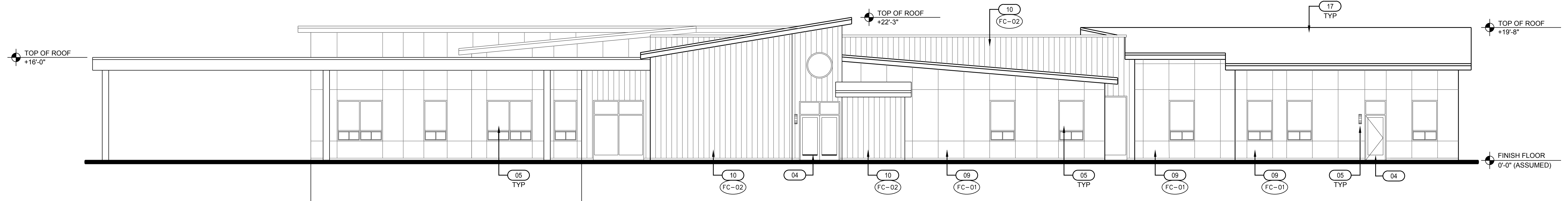
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A-201



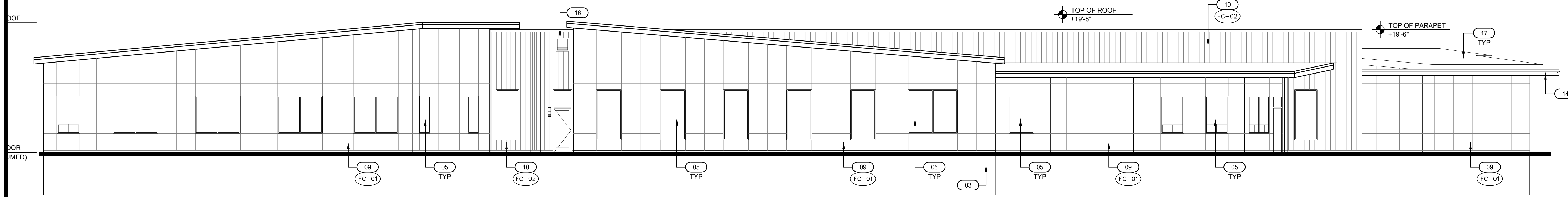
D1 SOUTHWEST ELEVATION
SCALE: 1/8" = 1' - 0"



C1 SOUTH ELEVATION
SCALE: 1/8" = 1' - 0"



B1 EAST ELEVATION
SCALE: 1/8" = 1' - 0"



A1 SOUTH ELEVATION
SCALE: 1/8" = 1' - 0"

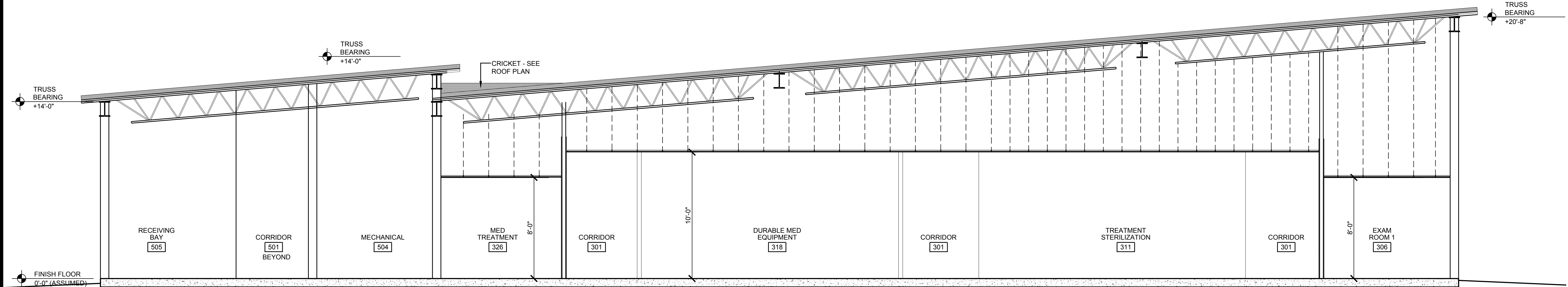
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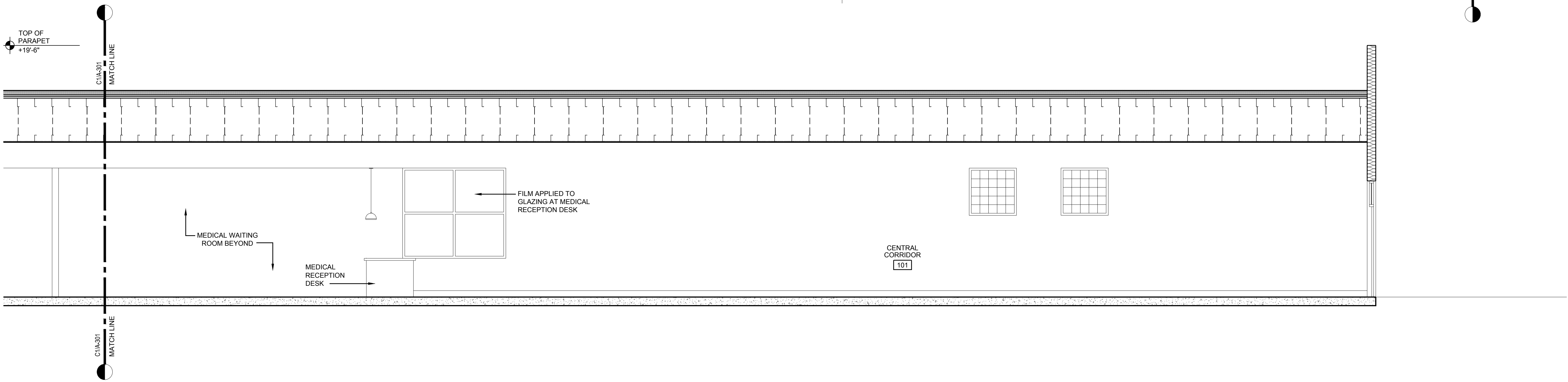
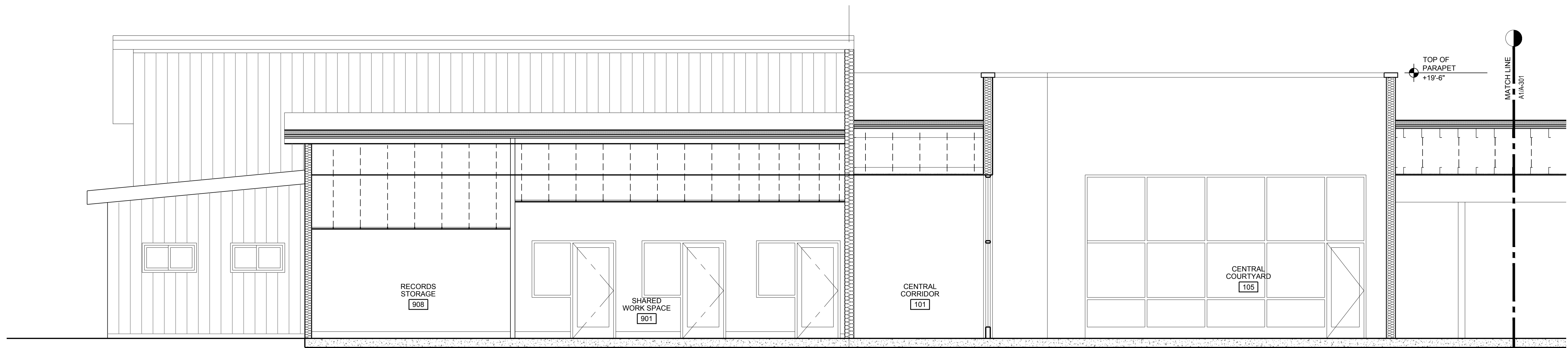
A-202

1. PROVIDE (21/2" X 12" X 1/2") MOCK-UP OF EACH EACH PAINT AND CEMENT PLASTER COLOR AND TEXTURE FOR THE PROJECT.
2. PROVIDE (3) SAMPLES OF EXTERIOR FINISH MATERIALS IN COLORS SELECTED BY ARCHITECT.
3. PREPARE COMPLETE SHOP DRAWINGS FOR ALL , SOFFIT PANELS, GUTTERS, FLASHING AND SHOWING ALL NECESSARY COMPONENTS FOR A COMPLETE INSTALLATION.
4. COORDINATE SIGNAGE INSTALLATION REQUIREMENTS, INCLUDING ELECTR. POWER, STRUCTURAL SUPPORT AND RELATED REQUIREMENTS W/ OWNER'S SIGNAGE CONTRACTOR.
5. SIGNAGE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR PREPARATION OF SIGNAGE PERMIT SUBMITTAL DOCUMENTS FOR COUNTY APPROVAL AND SHALL OBTAIN ALL REQUIRED PERMITS, APPROVALS AND INSPECTIONS FOR SIGNAGE INSTALLATION.

NOTE: IF THIS SHEET IS LESS THAN 30" x 42" IT HAS BEEN REDUCED AND IS NOT TO SCALE.



D1 BUILDING SECTION
SCALE: 1/4" = 1'-0"



A1 BUILDING SECTION
SCALE: 1/4" = 1'-0"

NOTE: IF THIS SHEET IS LESS THAN 30" x 42" IT HAS BEEN REDUCED AND IS NOT TO SCALE.

SHEET KEYNOTE LEGEND

- 01 COVERED ENTRY
- 02 MAIN ENTRY STOREFRONT DOORS
- 03 METAL TRUSSES (SSD)
- 04 CONT PREFINISHED GSM FLASHING TO MATCH ROOF
- 05 CONC. SLAB ON GRADE (SSD)
- 06 CONC. FOOTING (SSD)
- 07 BATT INSULATION @ EXTERIOR WALLS (R-21 TYP)
- 08 SUSPENDED ACT CEILING (SEE REFLECTED CEILING PLAN)
- 09 PTD CEILING BD
- 10 6" CONT BASE (SEE FINISH SCH)
- 11 CORNER GUARD
- 12 1x8 T & G (SSD)
- 13 DOUGLAS FIR #1 WD BEAM (SSD)
- 14 4" x 4" WOOD POST (SSD)
- 15 CULTURED STONE VENEER BASE
- 16 PRECAST SMOOTH SLOPED CULTURED STONE CAP
- 17 "HARDIE" PLANK LAP SIDING
- 18 PRE-FINISHED GSM GUTTER TO MATCH ROOF
- 19 CONT PERIMETER DRAIN PIPE 'W DRAIN ROCK & FILTER FABRIC WRAP. CONNECT TO STORM (SSD, SCD)
- 20 PRE-FINISHED STANDING SEAM MET ROOF
- 21 OVER FRAMING TRUSS ABOVE MAIN ROOF SHEATHING (SSD)
- 22 MULTIPLE PLY GIRDER TRUSS (SSD)
- 23 TRUSS BEARING DROP DOWN (SSD)
- 24 BUILT-UP WALL CORNER COLUMN IN WALL BEYOND (SSD)
- 25 FIBERGLASS THERMAL BATT INSULATION R-38
- 26

SHEET KEYNOTE LEGEND

- 1. SEE ENLARGED PLANS FOR ADDITIONAL INFORMATION
- 2. SEE STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR RELATED INFORMATION.

DESIGN-BUILDER:



CONSTRUCTION MANAGEMENT
8425 Agate Road White City, OR 97503 CCB #167945 (541) 828-5668

ARCHITECT:

SAMUEL UCCELLO
AIA, NCARB, LEED
S+B James Construction Management
Tel: (541)414-1325
Fax: (541)828-5536
E-mail: samueluccello@sbjames.com

CONSULTANT:

STAMP:

SCHEMATIC SUBMITTAL
Issued: 11-19-2019

OWNER:

COQUILLE INDIAN TRIBE

3050 TREMONT STREET
NORTH BEND, OREGON 97459
CONTACT:
PH: (800) 622-5869

PROJECT ADDRESS:

641 MILUK DRIVE
NORTH BEND, OREGON 97420

REVISIONS

MARKER	DATE	DESCRIPTION
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SBJ PROJECT NO.: M19-5118

DRAWN BY: ---

CHECKED BY: SRU

PROJECT DATE: 00/00/12

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PROJECT:

KO-KWEL WELLNESS CENTER
NEW MOB DESIGN

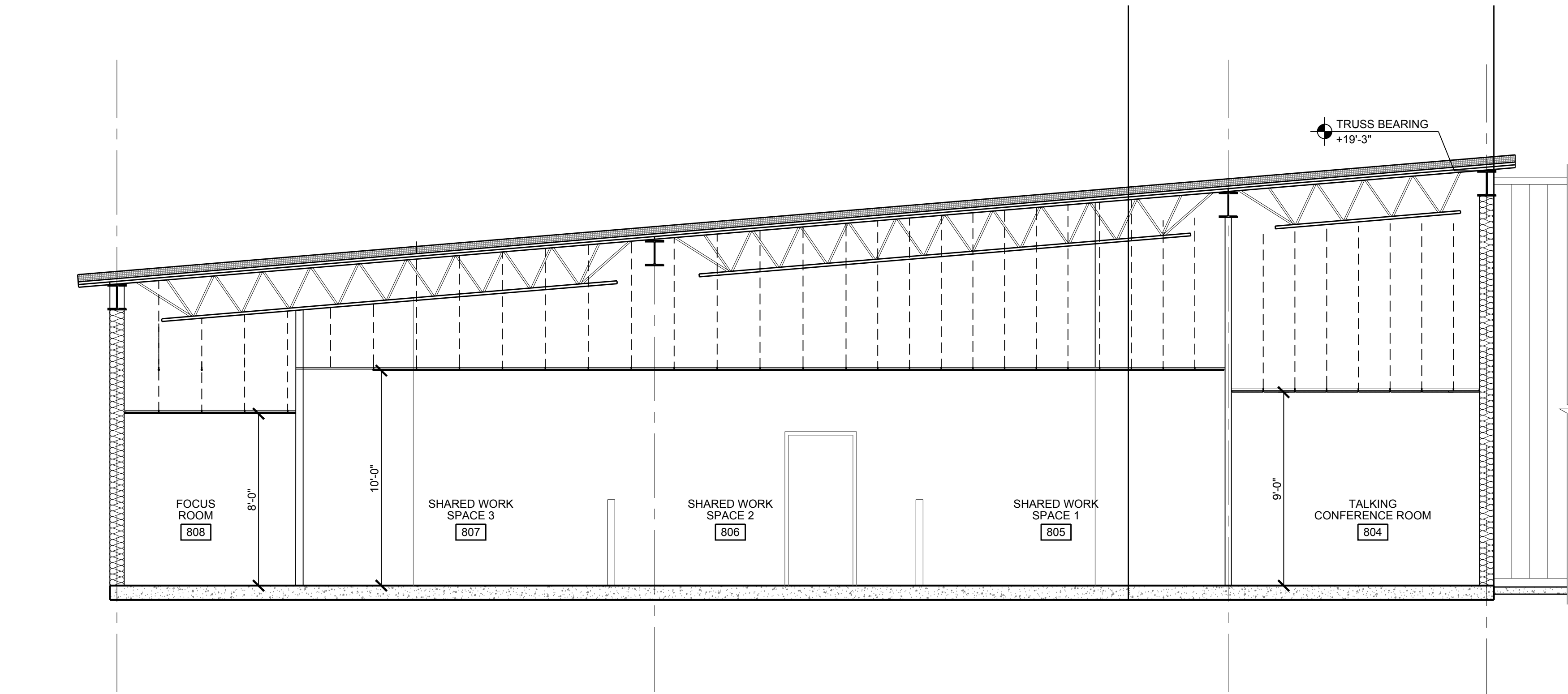
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BUILDING SECTIONS

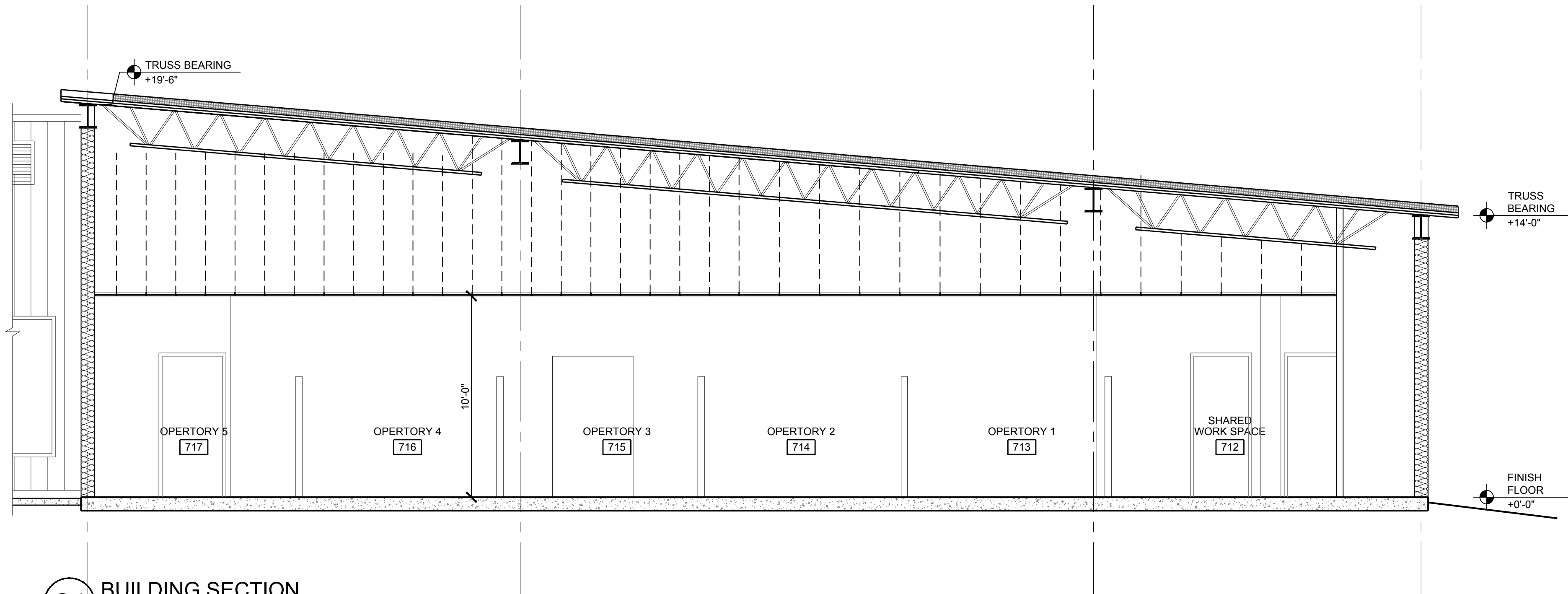
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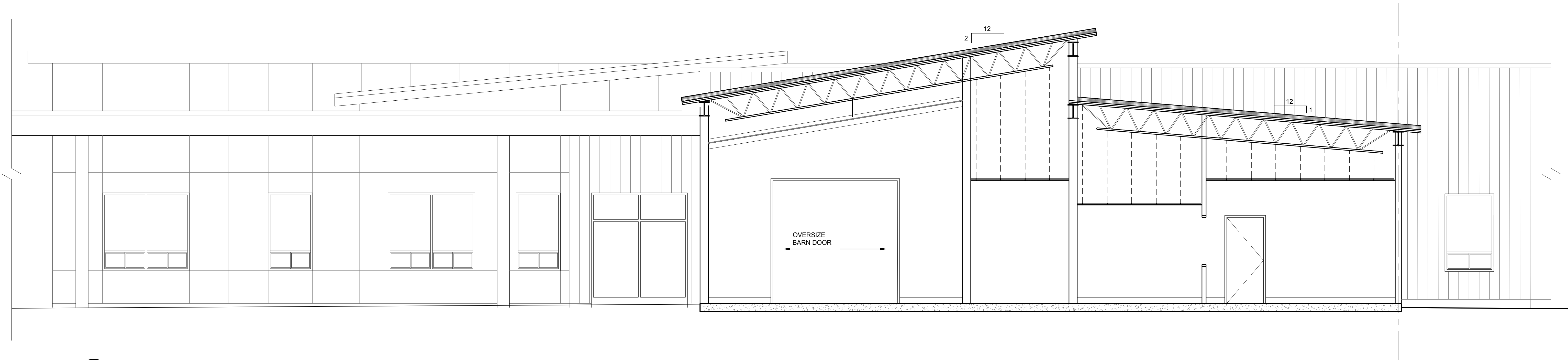
A-301



D1 BUILDING SECTION
SCALE: 1/4" = 1'-0"



C1 BUILDING SECTION
SCALE: 1/4" = 1'-0"



A1 BUILDING SECTION
SCALE: 1/4" = 1'-0"

NOTE: IF THIS SHEET IS LESS THAN 30" x 42" IT HAS BEEN REDUCED AND IS NOT TO SCALE.

SHEET KEYNOTE LEGEND

- 01 COVERED ENTRY
- 02 MAIN ENTRY STOREFRONT DOORS
- 03 METAL TRUSSES (SSD)
- 04 CONT PREFINISHED GSM FLASHING TO MATCH ROOF
- 05 CONC. SLAB ON GRADE (SSD)
- 06 CONC. FOOTING (SSD)
- 07 BATT INSULATION @ EXTERIOR WALLS (R-21 TYP)
- 08 SUSPENDED ACT CEILING (SEE REFLECTED CEILING PLAN)
- 09 PTD CEILING BD
- 10 6" CONT BASE (SEE FINISH SCH)
- 11 CORNER GUARD
- 12 1x8 T & G (SSD)
- 13 DOUGLAS FIR #1 WD BEAM (SSD)
- 14 4" x 4" WOOD POST (SSD)
- 15 CULTURED STONE VENEER BASE
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- 23 TRUSS BEARING DROP DOWN (SSD)
- 24 BUILT-UP WALL CORNER COLUMN IN WALL BEYOND (SSD)
- 25 FIBERGLASS THERMAL BATT INSULATION R-38
- 26

SHEET KEYNOTE LEGEND

- 1. SEE ENLARGED PLANS FOR ADDITIONAL INFORMATION
- 2. SEE STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR RELATED INFORMATION.

DESIGN-BUILDER:



CONSTRUCTION MANAGEMENT
8425 Agate Road
White City, OR 97503
CCB #167945
(541) 828-5668

ARCHITECT:
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S+B James Construction Management
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E-mail: samueluccello@sbjames.com

CONSULTANT:

STAMP:

SCHEMATIC
SUBMITTAL
Issued: 11-19-2019

OWNER:

COQUILLE INDIAN TRIBE
3050 TREMONT STREET
NORTH BEND, OREGON 97459
CONTACT:
PH: (800) 622-5869

PROJECT ADDRESS:

641 MILUK DRIVE
NORTH BEND, OREGON 97420

REVISIONS		
MARKER	DATE	DESCRIPTION
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SBJ PROJECT NO.: M19-5118
DRAWN BY: ---
CHECKED BY: SRU
PROJECT DATE: 00/00/12
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S & B JAMES CONSTRUCTION MANAGEMENT

PROJECT:
KO-KWEL
WELLNESS CENTER
NEW MOB
DESIGN

SHEET TITLE:
BUILDING SECTIONS

SHEET NO.:
A-302

SHEET KEYNOTE LEGEND

- | | |
|----|--|
| 01 | COVERED ENTRY |
| 02 | MAIN ENTRY STOREFRONT DOORS |
| 03 | METAL TRUSSES (SSD) |
| 04 | CONT PREFINISHED GSM FLASHING TO MATCH ROOF |
| 05 | CONC. SLAB ON GRADE (SSD) |
| 06 | CONC. FOOTING (SSD) |
| 07 | BATT INSULATION @ EXTERIOR WALLS (R-2 TYP) |
| 08 | SUSPENDED ACT CEILING (SEE REFLECTED CEILING PLAN) |
| 09 | PTD CEILING BD |
| 10 | 6" CONT BASE (SEE FINISH SCH) |
| 11 | CORNER GUARD |
| 12 | 1x8 T & G (SSD) |
| 13 | DOUGLAS FIR #1 WD BEAM (SSD) |
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| 17 | "HARDIE" PLANK LAP SIDING |
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| 24 | BUILT-UP WALL CORNER COLUMN IN WALL BEYOND (SSD) |
| 25 | FIBERGLASS THERMAL BATT INSULATION R-38 |
| 26 | |

DESIGN-BUILDER:



CONSTRUCTION MANAGEMENT

8425 Agate Road CCB #167945
White City, OR 97503 (541) 826-5668

ARCHITECT:

ARCHITECT:
SAMUEL UCCELLO

SAMUEL UCCELLO
AIA, NCARB LEED

S+B James Construction Management

Tel: (541)414-1325

CONSULTANT:

STAMP:

**SCHEMATIC
SUBMITTAL**
Issued: 11-19-2019

OWNER:

COQUILLE INDIAN TRIBE

3050 TREMONT STREET
NORTH BEND, OREGON 97459
CONTACT:
PH: (800) 622-5869

PROJECT ADDRESS:

641 MILUK DRIVE
NORTH BEND, OREGON 97420

SHEET KEYNOTE LEGEND

1. SEE ENLARGED PLANS FOR ADDITIONAL INFORMATION
2. SEE STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR RELATED INFORMATION

REVISIONS

[illegible]

SBJ PROJECT NO.: M19-5118

DRAWN BY: - - -

CHECKED BY:

PROJECT DATE: 00/00/12

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S & B JAMES CONSTRUCTION MANAGEMENT

PROJECT:

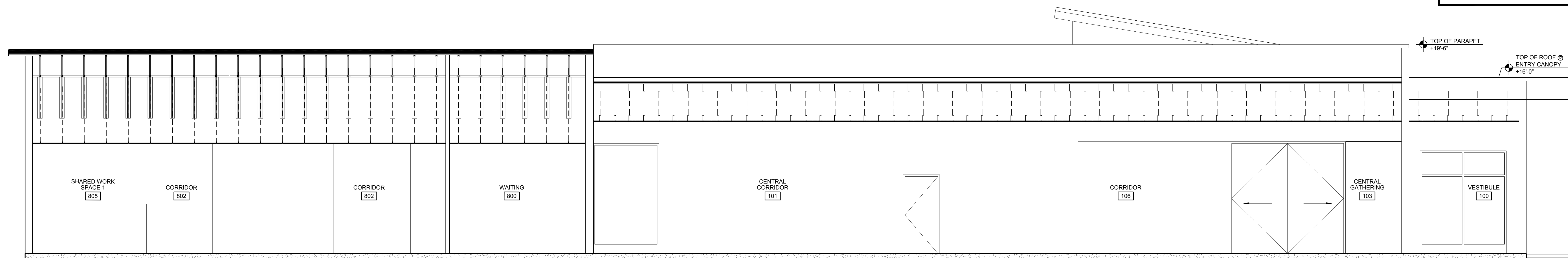
**KO-KWEL
WELLNESS CENTER**
NEW MOB
DESIGN

SHEET TITLE:

BUILDING SECTIONS

SHEET NO.:

A-303



TOP OF PARAPET
+19'-6"

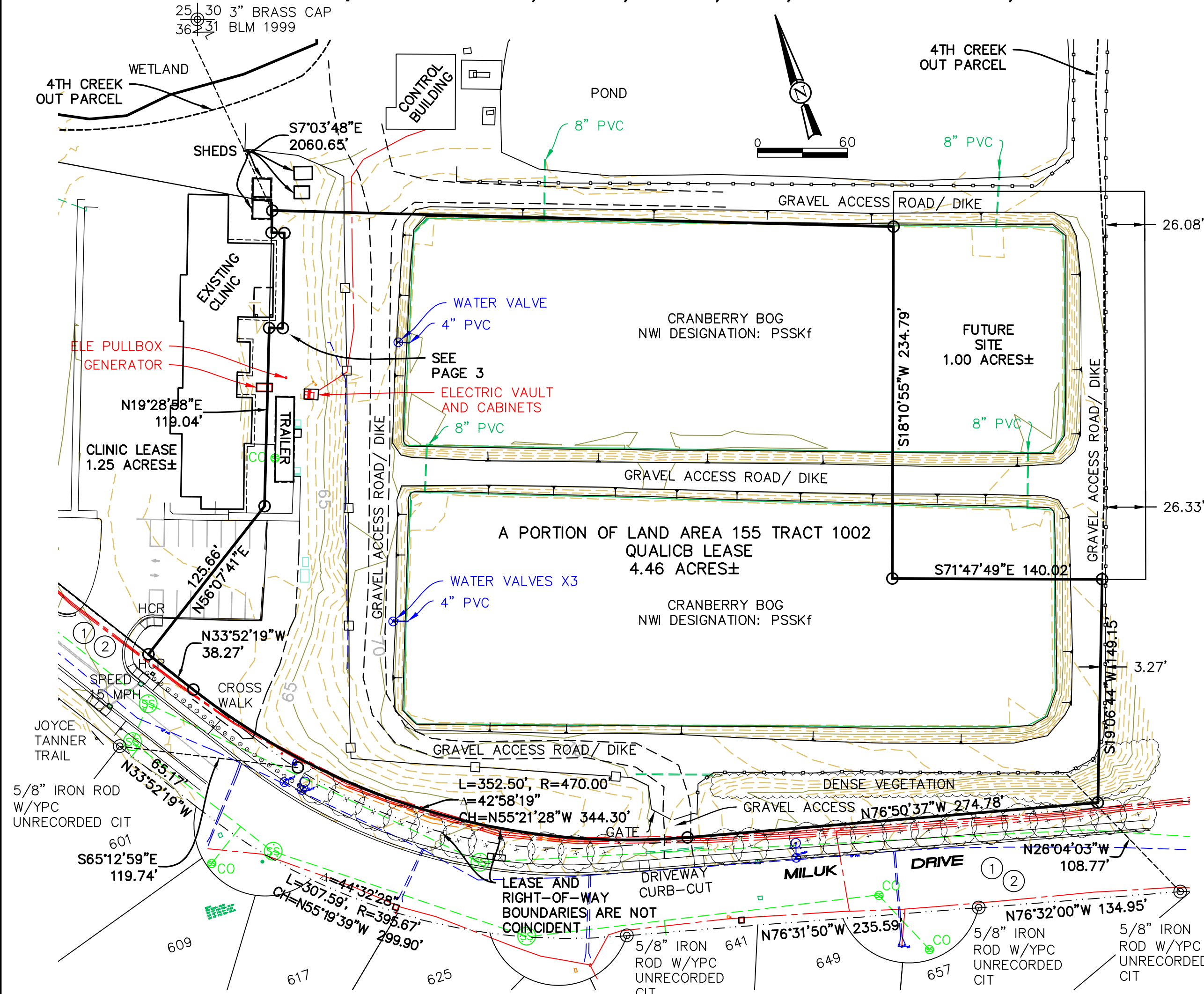
TOP OF ROOF @
ENTRY CANOPY
+16'-0"

A1 BUILDING SECTION
SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

NOTE: IF THIS SHEET IS LESS THAN 30" x 42" IT HAS BEEN REDUCED AND IS NOT TO SCALE.

ALTA/NSPS LAND TITLE SURVEY-A PORTION OF THE COQUILLE INDIAN RESERVATION
BIA LAND AREA 155 TRACT 1002 LOCATED IN THE SOUTHWEST 1/4 OF NORTHWEST
1/4 OF SEC. 31, T.25S., R.12W., W.M., COOS COUNTY, OREGON



NARRATIVE
THE PURPOSE OF THIS SURVEY WAS TO PERFORM AN ALTA/NSPS LAND TITLE SURVEY ACCORDING TO TABLE "A" ITEMS 1-4, 6-11, 16, 18, AND 19 AS PROVIDED BY THE CLIENT FOR A PORTION OF BUREAU OF INDIAN AFFAIRS (BIA) LAND AREA 155, TRACT 1002. UNITED STATES DEPARTMENT OF THE INTERIOR, BIA TITLE STATUS REPORT DATED 05/29/19 AND ASSOCIATED DOCUMENTS PROVIDED BY THE COQUILLE INDIAN TRIBE WERE USED FOR THIS SURVEY.
THE BASIS OF BEARING IS OREGON STATE PLANE, SOUTH ZONE NAD 83/91(INTERNATIONAL FEET) BASED ON A CONTROL NETWORK SETUP BY THE DYER PARTNERSHIP IN 2002. VERTICAL CONTROL DATUM IS BASED ON NAVD88(US FEET), GEOID12B. CONTOUR INTERVAL IS 1 FOOT. HOLDING THE CONTROL COORDINATES AT CONTROL POINT 12 FROM PREVIOUS PROJECTS, TRUE BEARINGS AVERAGE 2°34' CLOCKWISE FROM GRID BEARINGS IN THIS AREA. DISTANCES ARE MEASURED ON THE GROUND. THE COMBINED SCALE FACTOR IS 0.999920, MULTIPLY GROUND DISTANCES BY COMBINED SCALE FACTOR TO OBTAIN GRID DISTANCES.
I FOUND AND HELD EXISTING MONUMENTS ALONG THE SOUTHERLY RIGHT-OF-WAY BOUNDARY OF MILUK DRIVE TO CALCULATE THE NORTHERLY RIGHT-OF-WAY BOUNDARY OF MILUK DRIVE AT 60.00 FEET PERPENDICULAR TO SAID SOUTHERLY BOUNDARY. THE REMAINING SUBJECT PROPERTY BOUNDARY WAS DETERMINED BY THE COQUILLE INDIAN TRIBE. NEW MONUMENTS WERE SET AS SHOWN HEREON.
ASSISTING ME WITH THIS SURVEY WAS DANIEL UNDELL AND DAVID MILICAN. TRIMBLE R8 RECEIVERS AND A TRIMBLE S6 ROBOTIC TOTAL STATION WITH TSC3 DATA COLLECTOR WERE USED FOR THIS SURVEY.

REGISTERED PROFESSIONAL LAND SURVEYOR
DRAFT
OREGON
JULY 08, 2002
Walter E. White
55547
EXPIRES 6/30/20

SURVEYOR'S CERTIFICATE
TO COQUILLE INDIAN TRIBE, HELD IN TRUST BY UNITED STATES OF AMERICA.
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1-4, 6-11, 16, 18, AND 19 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON OCTOBER 21, 2019 WITH ADDITIONAL FIELD VISIT TO SET MONUMENTS ON ??????????????.
DATE OF PLAT OR MAP: ORIGINAL ON OCTOBER 22, 2019 AND UPDATED ??????????????.

LEGAL DESCRIPTION OF QUALICB LEASE
A PORTION OF THE COQUILLE INDIAN RESERVATION BEING BIA LAND AREA 155 TRACT 1002 LOCATED IN THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 31, TOWNSHIP 25 SOUTH, RANGE 13 WEST, W.M., COOS COUNTY, OREGON.
QUALICB LEASE AREA FOR BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT A 5/8" IRON ROD AT THE NORTHWEST CORNER OF SAID LEASE BOUNDARY, SAID 5/8" IRON ROD BEARS SOUTH 71°43' EAST A DISTANCE OF 2041.74 FEET FROM THE 3" BRASS CAP LOCATED AT THE NORTHWEST CORNER OF SAID SECTION 31;
THENCE ALONG SAID LEASE BOUNDARY, SOUTH 70°51'02" EAST FOR A DISTANCE OF 414.31 FEET TO A 5/8" IRON ROD;
THENCE SOUTH 18°10'55" WEST FOR A DISTANCE OF 258.36 FEET TO A 5/8" IRON ROD;
THENCE SOUTH 71°47'49" EAST FOR A DISTANCE OF 140.02 FEET TO A 5/8" IRON ROD;
THENCE SOUTH 19°06'44" WEST FOR A DISTANCE OF 149.15 FEET TO A 5/8" IRON ROD;
THENCE NORTH 76°50'37" WEST FOR A DISTANCE OF 274.78 FEET TO A 5/8" IRON ROD;
THENCE ALONG A 470.00 FOOT RADIUS CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 42°58'19" FOR AN ARC DISTANCE OF 352.50 FEET, SAID CURVE HAVING A CHORD BEARING OF NORTH 55°21'28" WEST AND A CHORD DISTANCE OF 344.30 FEET;
THENCE NORTH 33°52'19" WEST FOR A DISTANCE OF 38.27 FEET TO A 5/8" IRON ROD;
THENCE NORTH 56°07'41" EAST FOR A DISTANCE OF 125.66 FEET TO A 5/8" IRON ROD;
THENCE NORTH 19°28'58" EAST FOR A DISTANCE OF 119.04 FEET TO A 5/8" IRON ROD;
THENCE SOUTH 70°30'57" EAST FOR A DISTANCE OF 9.07 FEET TO A 5/8" IRON ROD;
THENCE NORTH 18°57'58" EAST FOR A DISTANCE OF 63.54 FEET TO A 5/8" IRON ROD;
THENCE NORTH 70°31'02" WEST FOR A DISTANCE OF 8.50 FEET TO A 5/8" IRON ROD;
THENCE NORTH 19°28'58" EAST FOR A DISTANCE OF 35.90 FEET TO A 5/8" IRON ROD TO THE POINT OF BEGINNING.
SAID LEASE BOUNDARY CONTAINING 4.67 ACRES, MORE OR LESS.

- LEGEND**
- | SYMBOL | INDICATES |
|--------|-------------------------------|
| AC | ASPHALT SURFACE |
| □ | DROP INLET |
| ○ | HYDRANT |
| ○ | LANDSCAPING |
| ○ | LIGHT POLE |
| ○ | FOUND MONUMENT AS NOTED |
| ○ | MONUMENT TO BE SET |
| ○ | CLEAN OUTS |
| ○ | STORM DRAIN MANHOLE |
| ○ | SHRUB/ BUSH |
| ○ | SIGNS |
| ○ | SANITARY SEWER MANHOLE |
| ○ | DECIDUOUS TREE |
| ○ | CONIFEROUS TREE |
| ○ | VAULT |
| ○ | WATER METER |
| ○ | WATER VALVE |
| ○ | CONCRETE |
| ○ | HANDICAP RAMP |
| ○ | TOP OF SLOPE |
| ○ | TOE OF SLOPE |
| ○ | NATIONAL WETLAND INVENTORY |
| ○ | COQUILLE INDIAN TRIBE |
| ○ | TITLE STATUS REPORT EXCEPTION |
- LINE LEGEND**
- | LINE | INDICATES |
|------|----------------------|
| --- | WATER LINE |
| --- | UG ELECTRIC LINE |
| --- | COMMUNICATION LINE |
| --- | STORM WATER LINE |
| --- | SANITARY SEWER LINE |
| --- | FIBER OPTIC LINE |
| --- | PROPERTY LINES |
| --- | EXISTING LEASE LINES |
| --- | RIGHT-OF-WAY LINE |
| --- | FENCE LINE |
| --- | VEGETATION LIMITS |

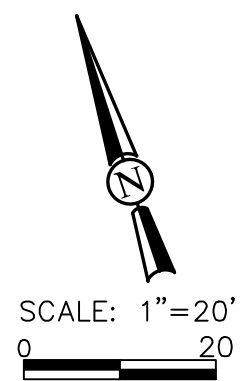
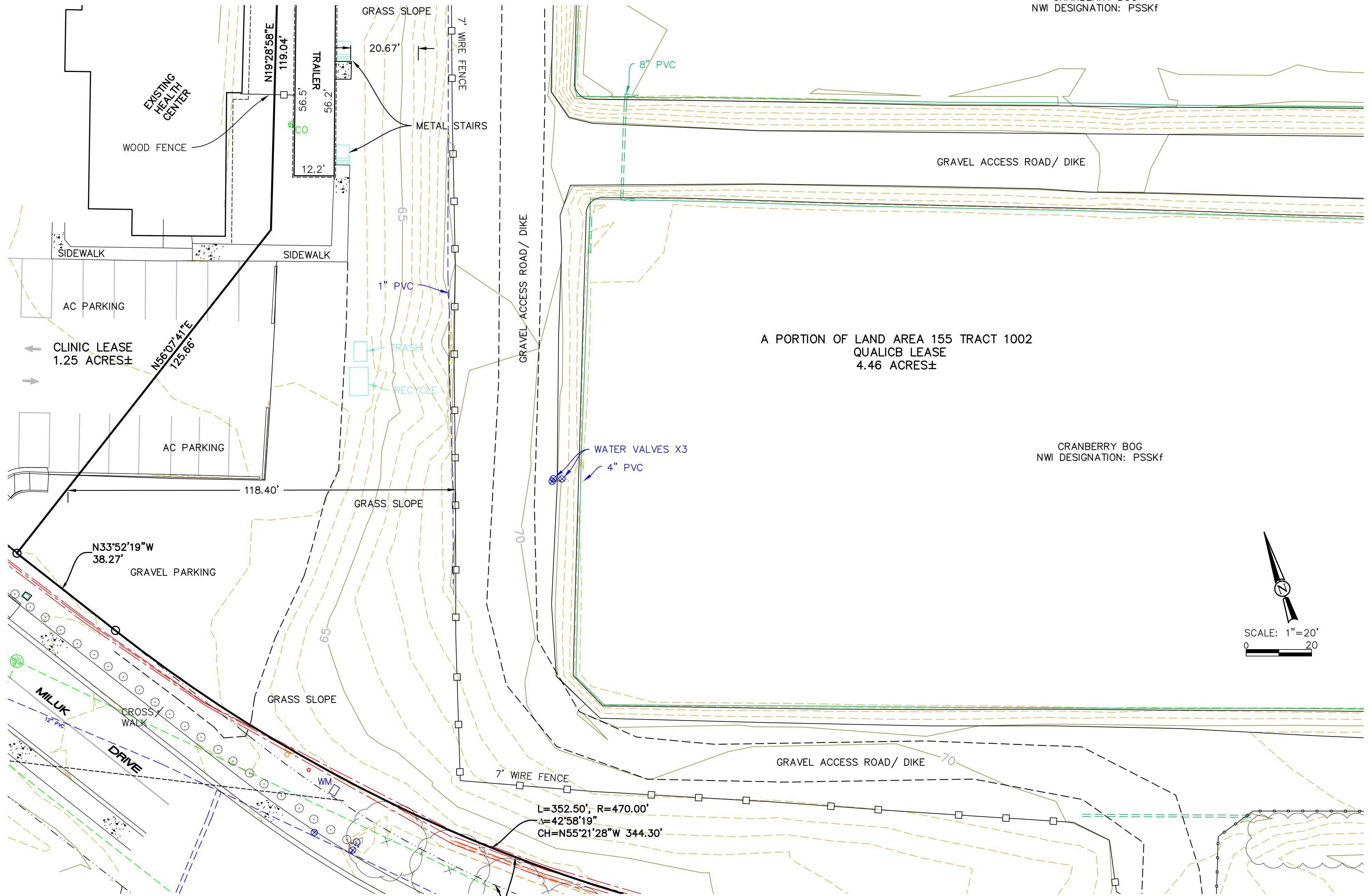
- UNITED STATES DEPARTMENT OF THE INTERIOR, BUREAU OF INDIAN AFFAIRS, TITLE STATUS REPORT DATED 05/29/2019 AS REQUESTED ON 09/27/2019 TOGETHER WITH ASSOCIATED DOCUMENTS PROVIDED BY THE COQUILLE INDIAN TRIBE.
- TRACT 155 T 1002 IS HELD BY THE UNITED STATE OF AMERICA IN TRUST FOR THE COQUILLE INDIAN TRIBE AS DESCRIBED IN APPENDIX "B" OF SAID REPORT.
- SPECIFIC ITEMS AND EXCEPTIONS AS DESCRIBED IN APPENDIX "C" OF THIS REPORT:
- | ITEM | DESCRIPTION |
|--|--|
| 1. DOCUMENT 155-10 PERPETUAL | GRANTEE: COOS BAY NORTH BEND WATER BOARD PERPETUAL EASEMENT FOR THE PLACEMENT, OPERATION AND MAINTENANCE OF WATER MAINS, FIRE HYDRANTS AND SERVICES TO THE FOURTH CREEK HOUSING PROJECT AND COQUILLE INDIAN HEALTH CLINIC. EASEMENT SHOWN HEREON. |
| 2. DOCUMENT 155-11 PERPETUAL EASEMENT | GRANTEE: CHARLESTON SANITARY DISTRICT FOR THE PLACEMENT, OPERATION AND MAINTENANCE OF SEWER SERVICE LATERALS TO THE CLEANOUT IN ORDER TO PROVIDE SEWER SERVICE TO THE FOURTH CREEK HOUSING PROJECT AND COQUILLE INDIAN HEALTH CLINIC. EASEMENT SHOWN HEREON. |
| 3. DOCUMENT 155-23 LEASE DOCUMENT 155-7 | GRANTEE: COQUILLE INDIAN HOUSING AUTHORITY AMENDED LEASE AGREEMENT. AMENDS ORIGINAL FOR FOURTH CREEK HOUSING PROJECT. WITHDRAWS A PORTION OF ORIGINAL LEASE FOR COMMUNITY CENTER COMPLEX. AMENDMENT NOT SHOWN. AMENDMENT IS NOT WITHIN THE PROJECT BOUNDARY. |
| 4. DOCUMENT 155-39 PERPETUAL | GRANTEE: COOS BAY NORTH BEND WATER BOARD PERPETUAL EASEMENT FOR THE PLACEMENT, OPERATION AND MAINTENANCE OF WATER MAINS, FIRE HYDRANTS AND SERVICES TO THE FOURTH CREEK HOUSING PROJECT AND COQUILLE INDIAN HEALTH CLINIC. EASEMENTS NOT SHOWN, BOTH EASEMENTS LOCATED ALONG TARHEEL LANE. |
| 5. DOCUMENT 155-40 PERPETUAL | GRANTEE: COOS BAY NORTH BEND WATER BOARD PERPETUAL EASEMENT FOR INSTALLING, CONSTRUCTING, REPAIRING, AND MAINTAINING A WATER PUMP STATION (PIGEON POINT PUMP STATION) AND WATER PIPELINE AND ELECTRICAL CONTROLS. EASEMENT NOT SHOWN, IS NOT WITHIN THE PROJECT BOUNDARY. |
| 6. DOCUMENT 155-45 PERPETUAL EASEMENT. | GRANTEE: RAY C. PRICE AND BILLIE SCHWALM WALKWAY, RETAIN WALL, AND HANDRAIL EASEMENT NOT SHOWN, EASEMENT LOCATED NEAR FULTON AVENUE. |
| 7. DOCUMENT 155-46 EASEMENT EXPIRES 05/01/2053 | GRANTEE: WILLIAM & ALICE PLUMMER FENCE EASEMENT NOT SHOWN, EASEMENT LOCATED NEAR PLUMMER DRIVE. |
| 8. DOCUMENT 155-49 EASEMENT EXPIRES 04/26/2055 | GRANTEE: SIEGFRIED MUNDING & JUDY HUNT SEWER EASEMENT NOT SHOWN, EASEMENT LOCATED ALONG WINGERT LANE. |
| 9. DOCUMENT 155-1300011338 EASEMENT EXPIRES 04/12/2023 | GRANTEE: BUREAU OF INDIAN AFFAIRS (USA) TARHEEL LOOP RIGHT-OF-WAY NOT SHOWN. |
| 10. DOCUMENT 155-5950049520 EASEMENT EXPIRES 04/26/2055 | GRANTEE: COQUILLE ECONOMIC DEVELOPMENT CORP. AMENDMENT TO MASTER LEASE FROM 25 YEARS TO 99 YEARS. |
| 11. ENCUMBRANCES AS SET FORTH IN APPENDIX "C" ARE NOT SHOWN. | |

TABLE A ITEMS:

1. MONUMENTS SET AS SHOWN HEREON.	2. ADDRESSES REPORTED ON COOS COUNTY SUMMARY REPORT FOR TAX ACCOUNT #385101 INCLUDE:
701 JISTAJAYA CT COOS BAY	702 JISTAJAYA CT COOS BAY
704 JISTAJAYA CT COOS BAY	705 JISTAJAYA CT COOS BAY
706 JISTAJAYA CT COOS BAY	707 JISTAJAYA CT COOS BAY
708 JISTAJAYA CT COOS BAY	709 JISTAJAYA CT COOS BAY
710 JISTAJAYA CT COOS BAY	711 JISTAJAYA CT COOS BAY
2601 MEXEYE LP COOS BAY	2602 MEXEYE LP COOS BAY
2603 MEXEYE LP COOS BAY	2604 MEXEYE LP COOS BAY
2605 MEXEYE LP COOS BAY	2606 MEXEYE LP COOS BAY
2607 MEXEYE LP COOS BAY	2608 MEXEYE LP COOS BAY
2609 MEXEYE LP COOS BAY	2610 MEXEYE LP COOS BAY
2611 MEXEYE LP COOS BAY	2613 MEXEYE LP COOS BAY
2639 MEXEYE LP COOS BAY	2646 MEXEYE LP COOS BAY
2648 MEXEYE LP COOS BAY	2650 MEXEYE LP COOS BAY
2651 MEXEYE LP COOS BAY	2652 MEXEYE LP COOS BAY
2656 MEXEYE LP COOS BAY	2658 MEXEYE LP COOS BAY
2659 MEXEYE LP COOS BAY	2660 MEXEYE LP COOS BAY
2661 MEXEYE LP COOS BAY	2662 MEXEYE LP COOS BAY
2663 MEXEYE LP COOS BAY	2664 MEXEYE LP COOS BAY
2665 MEXEYE LP COOS BAY	2666 MEXEYE LP COOS BAY
2667 MEXEYE LP COOS BAY	2668 MEXEYE LP COOS BAY
2669 MEXEYE LP COOS BAY	2670 MEXEYE LP COOS BAY
2671 MEXEYE LP COOS BAY	2672 MEXEYE LP COOS BAY
2673 MEXEYE LP COOS BAY	2674 MEXEYE LP COOS BAY
2675 MEXEYE LP COOS BAY	2676 MEXEYE LP COOS BAY
2677 MEXEYE LP COOS BAY	2678 MEXEYE LP COOS BAY
2679 MEXEYE LP COOS BAY	2681 MEXEYE LP COOS BAY
2683 MEXEYE LP COOS BAY	502 MILUK DR COOS BAY
504 MILUK DR COOS BAY	506 MILUK DR COOS BAY
508 MILUK DR COOS BAY	510 MILUK DR COOS BAY
601 MILUK DR COOS BAY	609 MILUK DR COOS BAY
617 MILUK DR COOS BAY	625 MILUK DR COOS BAY
633 MILUK DR COOS BAY	641 MILUK DR COOS BAY
649 MILUK DR COOS BAY	657 MILUK DR COOS BAY
665 MILUK DR COOS BAY	673 MILUK DR COOS BAY
2. FEMA FIRM MAP 41011C0310F SHOWS THE SUBJECT PROPERTY OUTSIDE THE LIMITS OF THE FLOOD STUDY.	
3. GROSS LAND AREA OF THE SUBJECT PROPOSERY SHOWN HEREON IS 168,719 SQUARE FEET OR 3.87 ACRES, MORE OR LESS.	
6.a. NO ZONING REPORT OR LETTER WAS PROVIDED BY THE CLIENT.	
ZONE: FOREST	
6.b. NO ZONING REPORT OR LETTER WAS PROVIDED BY THE CLIENT.	
7.a. THERE ARE NO EXISTING BUILDINGS ON THE PROPERTY.	
7.b. THERE ARE NO EXISTING BUILDINGS ON THE PROPERTY.	
7.c. THERE ARE NO EXISTING BUILDINGS ON THE PROPERTY.	
8. SUBSTANTIAL FEATURES INCLUDE TWO (2) EXISTING CRANBERRY BOGS AND LANDSCAPED AREAS AS SHOWN HEREON.	
9. THERE ARE NO EXISTING PARKING SPACES LOCATED ON THE SUBJECT PROPERTY.	
10.a. THERE ARE NO EXISTING PARTY WALLS ON THE SUBJECT PROPERTY.	
10.b. THERE ARE NO EXISTING PARTY WALLS ON THE SUBJECT PROPERTY.	
11. ONLY THOSE UTILITIES WHICH WERE VISIBLE AT THE TIME OF SURVEY, OR WHERE OTHER EVIDENCE OF THEIR LOCATION WAS PROVIDED BY THE CLIENT HAVE BEEN SHOWN. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES ARE IN THE EXACT LOCATION INDICATED. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES ALTHOUGH HE HAS PHYSICALLY LOCATED THE OBSERVABLE SURFACE FEATURES.	
16. NO RECENT EVIDENCE OF EARTHMOVING WORK ON THE SUBJECT PROPERTY.	
18. NO EVIDENCE OF FIELD DELINEATED WETLAND MARKERS WERE OBSERVED DURING THE PROCESS OF CONDUCTING THE FIELD WORK. NATIONAL WETLANDS INVENTORY SHOWS THE EXISTING CRANBERRY BOGS AS FRESHWATER FORESTED/SHRUB WETLAND (PSSKf).	
19. ALL PLOTTABLE OFFSITE EASEMENTS OR SERVITUDES FROM THE TITLE STATUS REPORT PROVIDED BY THE CLIENT ARE SHOWN ON THIS MAP.	

**ALTA/NSPS LAND TITLE SURVEY-A PORTION OF THE COQUILLE INDIAN RESERVATION
BIA LAND AREA 155 TRACT 1002 LOCATED IN THE SOUTHWEST 1/4 OF NORTHWEST
1/4 OF SEC. 31, T.25S., R.12W., W.M., COOS COUNTY, OREGON**

CRANBERRY BOG
NWI DESIGNATION: PSSKf



LEASE AND RIGHT-OF-WAY
BOUNDARIES ARE NOT COINCIDENT

NOTE:
SEE SHEET 1 OF 3 FOR LEGEND.

REGISTERED
PROFESSIONAL
LAND SURVEYOR
DRAFT
OREGON
JULY 09, 2002
Walter E. White
55547
EXPIRES 6/30/20

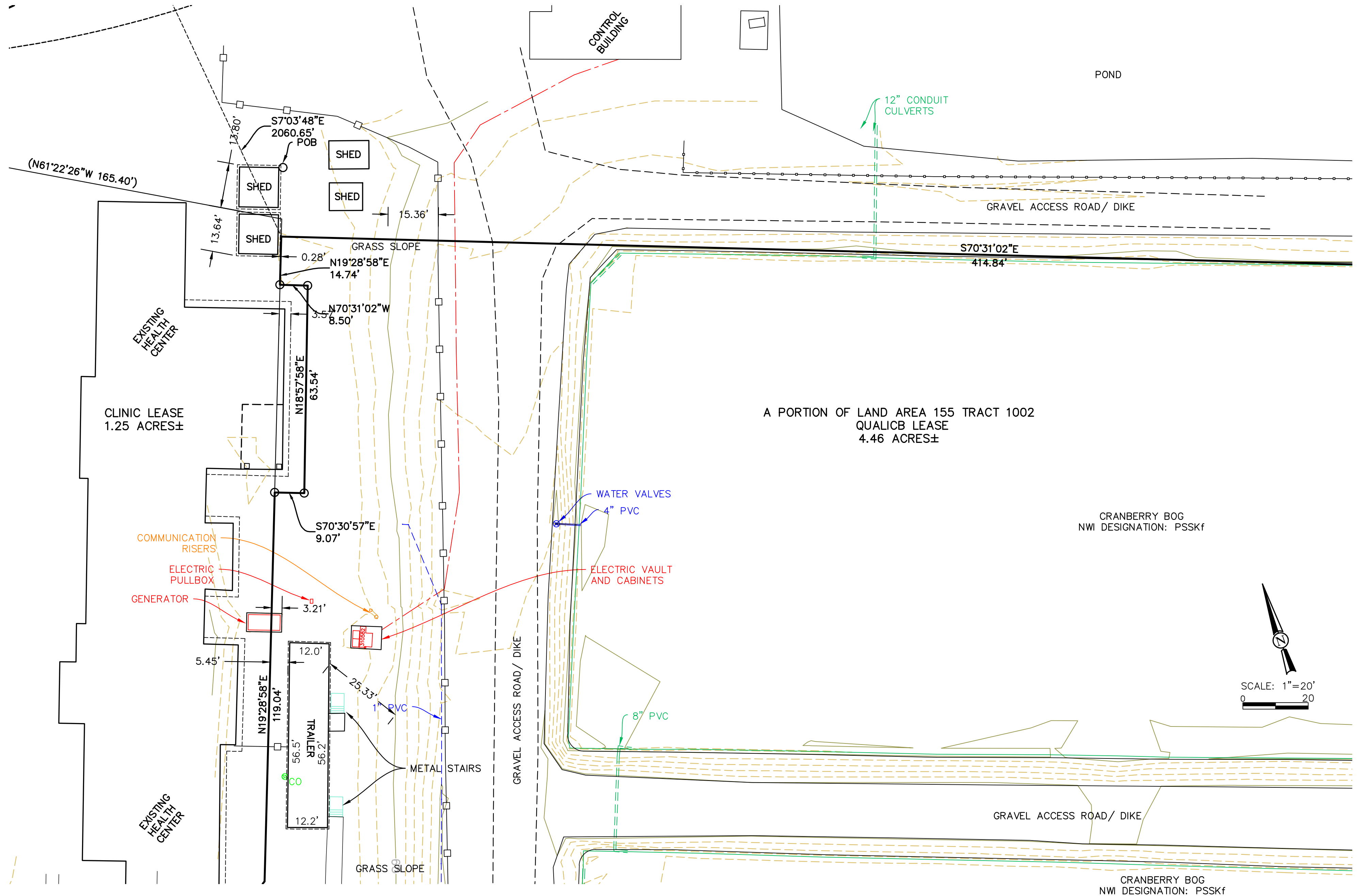


275 MARKET AVENUE
COOS BAY, OR. 97420
WWW.SHN-ENGR.COM
541-266-9890

Date: Nov. 11, 2019 Scale: 1" = 20'

Project: 619122 Sheet 2 of 3

**ALTA/NSPS LAND TITLE SURVEY-A PORTION OF THE COQUILLE INDIAN RESERVATION
BIA LAND AREA 155 TRACT 1002 LOCATED IN THE SOUTHWEST 1/4 OF NORTHWEST
1/4 OF SEC. 31, T.25S., R.12W., W.M., COOS COUNTY, OREGON**



NOTE:
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Project: 619122 Sheet 3 of 3

ALTA OVERLAID WITH THE TENTATIVE DESIGN

